

October 5, 2015

Dear Client,

On 9/14/2015, Cities' Inspection Service, Inc. completed a building inspection of the property located at 123 Oak Street, Someplace, Minnesota for you. Doug Hastings did all the fieldwork related to this project. Doug used the commercial inspection protocol; the Standard Guide for Property Condition Assessment – ASTM Standard E2018-01.



The method used for this inspection was visual. There was no destructive analysis or technical testing of any building component. The project excluded all environmental health hazards, such as concealed mold, mildew and fungal growth; and any insect and vermin infestations.

The purpose of this inspection was to observe the physical condition of this building. The intent was to identify defects or conditions that adversely affected the structure and its components. This report contains the results of the inspection.

These definitions were used in this report:

- Functional component was performing its intended function; installation and condition were appropriate for age and use.
- Minor Defect component deficiency was insufficient to be major defect; but it requires repair, normal maintenance, or a safety improvement.
- ⊗ Major Defect component was not performing its intended function and requires repair or replacement.

Exterior

Description of Exterior

Building: 1 level Salon	Parking: asphalt paved 10 spaces	Building age: 45 years
Additions to building: 2	Front addition: 1991	Rear addition: 1983
Wall covering: veneer bricks	Layers: 1	Approx. age: 45 years
Windows: fixed	Glass: insulated	Approx. age: 25 years
Roof covering: tar & gravel	Layers: 1	Approx. age: 13 years
Roof viewed: walked on roof	Slope: flat	
Weather: fair	Front entry faces: east	

- Functional
- ◉ Minor Defect
- ✗ Major Defect

Exterior Observations

Explanation of Problems

Landscape

grading_____ ✗.... flat grade (east side) / flat asphalt (north side)
 planters_____ ✗.... deteriorated bricks / decayed wood timbers



Flat asphalt (north side)

Hardscape

walks_____ ✗.... cracked & settled concrete (city assessment) / negative slope
 handicap ramp___ ●
 fence_____ ✗.... bent posts & mesh



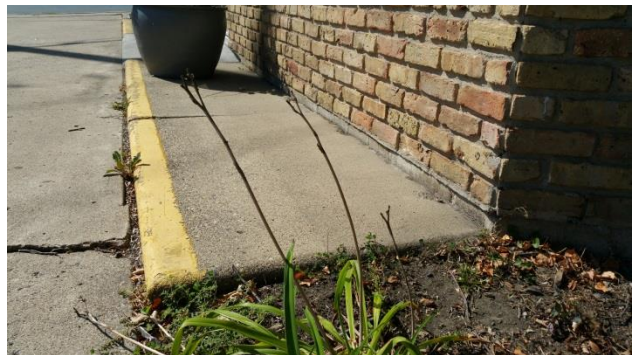
Cracked & uneven city sidewalk (assessment)

Parking

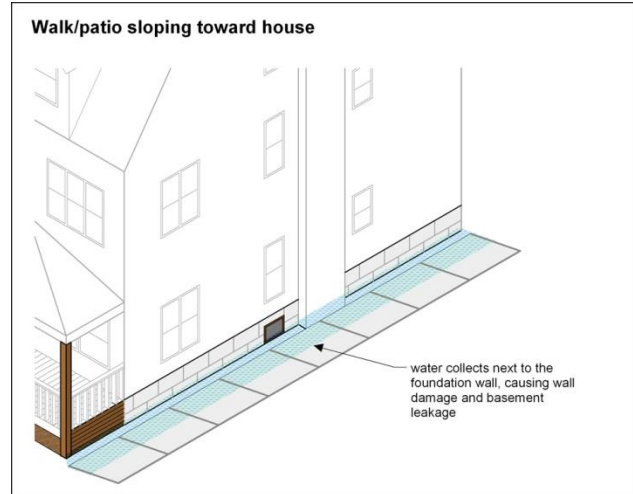
- curbs _____ ☒ settled concrete / negative slope
- surface _____ ☐ cracked asphalt / flat grade (at garage)
- stripe lines _____ ☒
- handicap space _____ ☒
- handicap sign _____ ☒



Settled curb



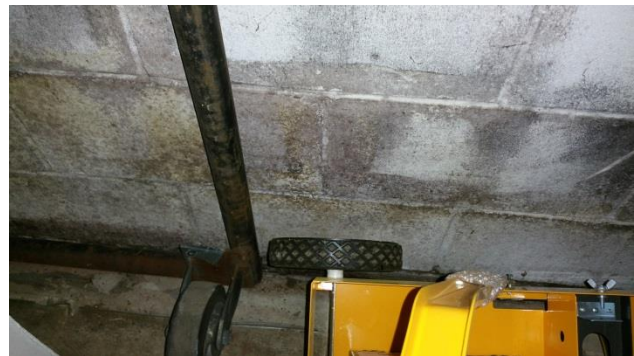
Negative curb slope



Flat parking surface

Garage

- wall blocks _____ ☒ water stained (north side)
- fire barrier _____ ☒ dryer vent opening in wall / water damaged ceiling & wall
- floor slab _____ ☒



Water stained blocks



Unprotected dryer vent



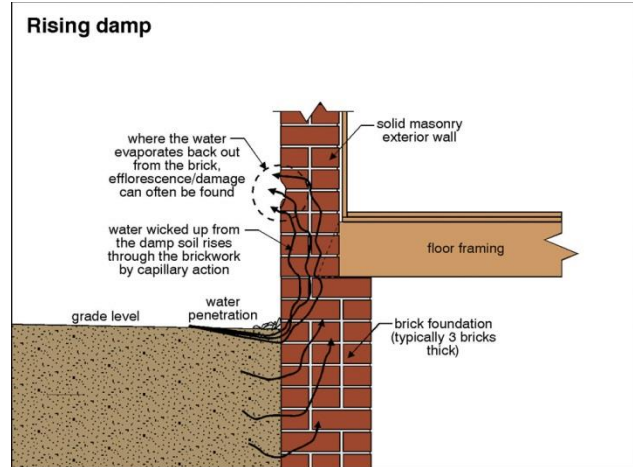
Water damaged ceiling plaster

Walls

wood shakes____ ☒.... cracked, split, worn, decayed wood
 veneer bricks____ ☐.... deteriorated bricks
 flashing/caulking_ ☒
 signage_____ ☒



Deteriorated bricks



Windows

main level _____ ☒.... broken glass

skylights _____ ☒.... cracked & leaking glass (8) / caulked glazing (2)



Cracked skylights

Doors

main _____ ●

garage service _____ ☒.... rusted frame

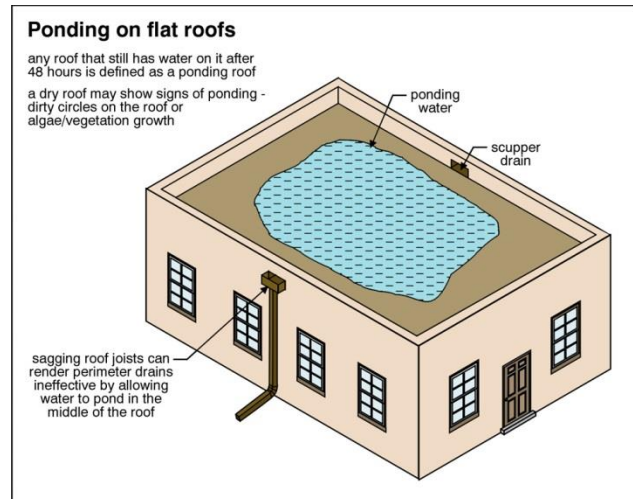
garage overhead _____ ☒.... automatic opener does not reverse



Rusted frame

Roof covering

- drainage_____⊗.... ponding water
- materials_____⊗.... ridges / bubbles / missing gravel / tar patching
- flashings_____⊗.... tar coated perimeter curbs, skylights, mechanicals / loose metal coping
- overhangs_____⊙
- scuppers_____⊙



South roof



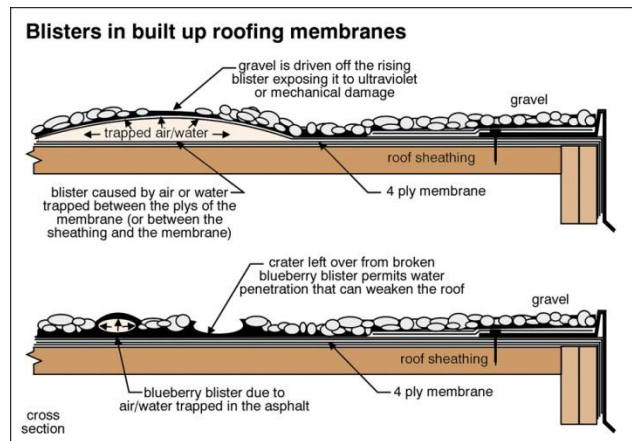
West roof (garage)



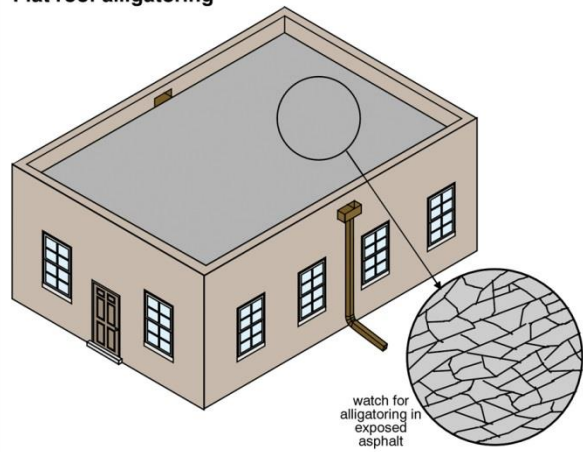
North roof



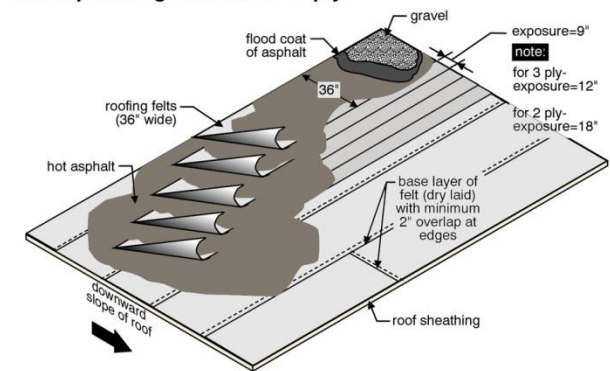
East roof

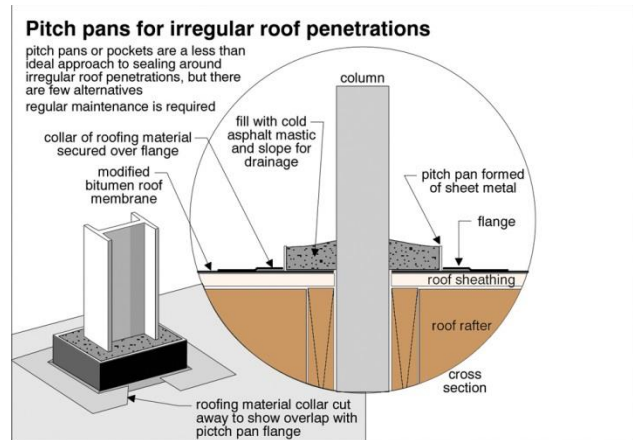


Flat roof alligating



Built up roofing membrane - 4 ply





Tar coating perimeter curbs



Loose metal coping

Probability of Moisture Intrusion

- ✓ grounds___medium (flat grade)
- ✓ walls___low
- ✓ roof___high (tar coated materials)

Limitations to Exterior Observations

- None.

Structure

Description of Structure

Foundation: concrete block	Insulation: none	
Floors: solid wood joists & grade slab	Insulation: none	
Walls: concrete block	Insulation: not visible	
Roof: solid wood joists	Insulation: fiberglass	Inches: not visible
Crawl space viewed: none		
Attic viewed: none		

- ⦿ Functional
- ◉ Minor Defect
- ⊗ Major Defect

Structure Observations

Explanation of Problems

Foundation

walls_____◉.... water stained (north wall)
 drain tiled_____◉.... none



Water stained north wall

Floors

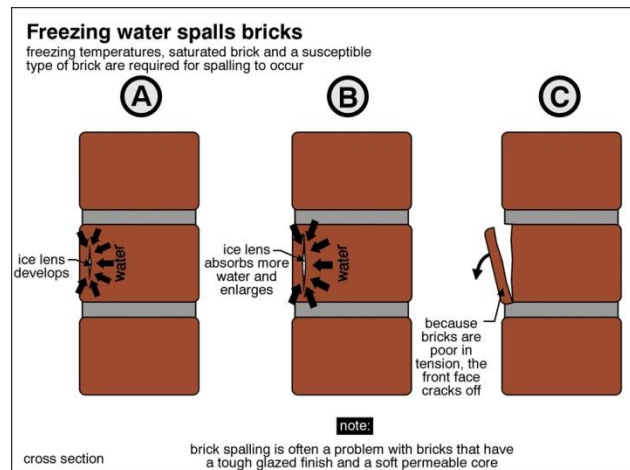
concrete slab___⦿
 wood joists___⦿
 posts and beam___⦿

Walls

above ground___◉.... deteriorated exterior blocks
 posts and beam___⦿



Deteriorated exterior blocks



Roof

rafter's _____ ○.... not visible
vent pipes _____ ●

Insulation

basement _____ ○.... none
floor _____ ○.... none
wall _____ ○.... not visible
attic _____ ○.... not visible / expect water damage

Probability of Failure or Moisture Intrusion

- ✓ foundation___medium (water stained blocks)
- ✓ floors_____low
- ✓ walls_____low
- ✓ roof_____high (water damaged ceilings)

Limitations to Structure Observations

- Foundation is 50% covered and condition not visible.
- Wall structure is 100% covered; wood decay and molds are not visible.
- Attic is 100% covered and condition not visible.

Electrical

Description of Electrical

Utility service: overhead	Volts: 240 volts 1 phase & 3 phase
Panel size: 150 amp 1 phase & 200 amp 3 phase	Approx. age: 45 years
Main disconnect: fused	Service wires: not visible
Branch circuits: circuit breakers	Distribution wires: not visible

- Functional
- Minor Defect
- ✗ Major Defect

Electrical Observations

Explanation of Problems

Utility service_____ ●



Utility locked & not visible

Main panel & distribution panel (150 amps)

size_____ ●
 condition_____ ●
 wiring_____ ●

Main panel & distribution panel (200 amps)

size_____ ●
 condition_____ ●
 wiring_____ ✗.... missing circuit breaker knockouts / panel energized & wiring not visible / loose ground connection



3 phase panel locked & interior not visible



Missing circuit breaker knockouts

Subpanel

condition _____ ●

wiring _____ ●

Outlets and fixtures

exterior _____ ●.... missing florescent fixture globes

garage _____ ●


basement _____ ●.... missing covers


attic _____ ●.... missing covers

central vacuum _____ ●.... disconnected exhaust pipe



Fire and security protection

smoke detectors_ .... no basement & main level smoke detectors

exit signs_____ 

fire extinguishers_ .... none

security system__ .... not part of inspection

Limitations to Electrical Observations

- High voltage 3 phase panels cannot be opened when energized. The power could not be shut down during the inspection.

Plumbing

Description of Plumbing

Main visible water supply pipe: copper	Interior water pipes: copper & plastic
Main water shutoff located: front room	
Water heaters: 3 electric tanks 50 gallons each	Approximate age: 2 years
Soil stack: cast iron & plastic	Drain & vent pipes: cast iron & plastic

- Functional
- Minor Defect
- ⊗ Major Defect

Plumbing Observations

Explanation of Problems

Water pipes

- main pipe_____ ●
- interior pipes_____ ●
- exterior spigots_____ ○.... leaking faucet

Waste pipes

- soil stack_____ ○.... finished walls & not visible
- drain/vent pipes_____ ⊗.... corroded underground pipe
- slop sink_____ ●



Corroded drain pipe

Gas pipes

- meter and pipes_____ ⊗.... no bollard
- appliances_____ ●



No bollard

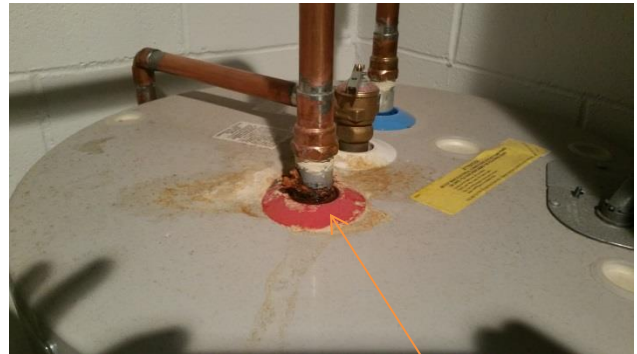


Example of bollards

Appliances

water heaters___⊗.... leaking pipe connection

water softener___⊙.... none



Leaking water pipe

Probability of Failure

- ✓ Water pressure__low
- ✓ Plugged sewer__low
- ✓ Water heater___high (leaking water pipe)

Limitations to Plumbing Observations

- Condition of underground sewer pipe is not visible.
- Waste, drain, vent pipes are inaccessible and condition not visible.

Mechanical

Description of Mechanical

Heat/Cool #1: natural gas rooftop package unit	Approximate age: 1 year
Heat/Cool #2: natural gas rooftop package unit	Approximate age: 2 years
Heat/Cool #3: natural gas rooftop package unit	Approximate age: 24 years
Ventilation: exhaust fan	Approximate age: 2 years

- Functional
- ◉ Minor Defect
- ✗ Major Defect

Mechanical Observations

Explanation of Problems

Roof top #1

jacket_____●
 heat exchanger___●
 distribution_____●
 exhaust_____●
 compressor_____●
 piping_____●
 wiring_____●

Roof top #2

jacket_____●
 heat exchanger___●
 distribution_____●
 exhaust_____●
 compressor_____●
 piping_____◉.... no condensate drain line
 wiring_____●



No condensate drain line

Roof top #3 (garage)

jacket_____ ☉.... old / short useful life
 heat exchanger___ ☒.... rusted metal
 distribution_____ ●
 exhaust_____ ●
 compressor_____ ☒.... inoperable
 piping_____ ●
 wiring_____ ●



Inoperable air conditioner

Ventilation

exhaust fan_____ ●

Probability of Failure

- ✓ Roof top #1_____ low
- ✓ Roof top #2_____ low
- ✓ Roof top #3_____ high (rusted furnace / inoperable air conditioner)

Limitations to Mechanical Observations

- System heater exchangers are 100% inaccessible and condition is not visible.

Interior

Description of Interior

Common rooms: 4	Private rooms: 4	Restrooms: 1
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- Functional
- Minor Defect
- ⊗ Major Defect

Interior Observations

Explanation of Problems

Stairs

basement_____ ●

Kitchen & laundry

wall, ceiling, floor_____ ●

door_____ ●

outlet and fixture_____ ●

heat_____ ●

plumbing_____ ●

cabinet and top_____ ●

Appliances

refrigerator_____ ●

dishwasher_____ ●

microwave_____ ●

clothes washer_____ ●

clothes dryer_____ ●

Wash areas

wall, ceiling, floor_____ ○ water stained ceiling

outlet and fixture_____ ●

heat_____ ●

plumbing_____ ●

cabinet and top_____ ●

Cutting areas

- wall, ceiling, floor___●
- window and door___●
- outlet and fixture___●
- heat_____●
- cabinet and top_____●

Reception

- wall, ceiling, floor___●
- window and door___●
- outlet and fixture___●
- heat_____●

Private rooms

- wall, ceiling, floor___●
- door_____●
- outlet and fixture___●
- heat_____●

Restrooms

- wall, ceiling, floor___●
- door_____○.... out of adjustment
- outlet and fixture___●
- heat_____●
- plumbing_____●
- cabinet and top_____●

Common halls and entries

- wall, ceiling, floor___⊗.... water stained ceiling tiles
- window and door___●
- outlet and fixture___●
- heat_____●



Water stained ceiling

Probability of Moisture Intrusion

- ✓ Ceiling___high (water stained tiles & plaster)
- ✓ Walls___low
- ✓ Floor___low

Limitations to Interior Observations

- None.

Conclusions

⊗ Major Defects

Exterior

- ✓ Cracked and settled city sidewalks (property assessment).
- ✓ Deteriorated wood wall shakes.
- ✓ Broken section of front window glass.
- ✓ Deteriorated and patched tar and gravel roof membrane. Worn out and patched curbs and flashings. Replace roof.
- ✓ Cracked and leaking 8 out of 10 skylights. The 2 remaining skylights are excessively caulked at the frame to glass connection. Recommend replacing skylights.

Garage

- ✓ Water damaged garage ceiling plaster (fire barrier).

Structure

- ✓ None.

Electrical

- ✓ Loose main panel(s) ground connections

Plumbing

- ✓ Corroded basement drain pipe.
- ✓ Leaking water heater pipe connection.

Mechanical

- ✓ Old garage roof top furnace; short useful life. Inoperable garage roof top air conditioner.

Interior

- ✓ None.

⊙ Minor Defects

Exterior

- ✓ Earth grade on east side is sloped towards the building (basement moisture). Asphalt paving on north side is flat and ponding water on foundation (garage and basement moisture).
- ✓ Deteriorated front planter box bricks. Decayed side planter box wood timbers.
- ✓ No bollards protecting gas meter.
- ✓ Cracked and settled building perimeter curbs and walks.
- ✓ Bent parking lot fence posts and mesh.
- ✓ Cracked asphalt parking lot. Portion adjacent to garage does not slope away from the building (west side). Recommend crack fill, seal coating, and re-stripe asphalt.
- ✓ Deteriorated wall veneer bricks.

Garage

- ✓ Water stained foundation blocks (north side).
- ✓ Dryer vent is a breach in the fire barrier.
- ✓ Overhead door opener does not have safety reverse.
- ✓ Rusted out service door frame.

Structure

- ✓ Water stained basement wall.

Electrical

- ✓ Missing 3 phase distribution panel circuit breaker knockouts.
- ✓ Missing exterior florescent light fixture globes.
- ✓ Missing basement and above ceiling tiles receptacle box cover plates.
- ✓ No basement and main level smoke detectors. No fire extinguishers.
- ✓ Disconnected central vacuum exhaust pipe.

Plumbing

- ✓ Leaking exterior water spigot.

Mechanical

- ✓ No rooftop air conditioner condensate drain line.

Interior

- ✓ Restroom door out of adjustment.
- ✓ Ceiling water stains (above and below ceiling tiles).



Potential Defects

- ✓ You future plans include a room addition to the existing building. Because of lot coverage and lack of parking this may not be approved the city. You should verify that this is possible.

Not visible or limited view (not part of the inspection):

- ✓ Roof joists and insulation (no access)
- ✓ 3 phase panel s (energized & locked shut)
- ✓ Underground sewer pipe (below grade)

Not viewed operating (not part of the inspection):

- ✓ Security system